

- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.

## Kitchen

Kitchen is U-shaped no secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; good condition.
- Sink Fixtures: metal; good condition.
- Refrigerator: two door; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

## Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

## Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; excellent condition.
- Sink: cultured marble; excellent condition; two sinks.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

## Bathroom #3

None; not required.

## Laundry Room

- Location: room; good condition; adequate size; located adjacent to Family Room; has interior and exterior access.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

## Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987; therefore probability of lead content is moderate; tests indicate no lead in the water.

- Lead Based Paint: unit constructed before 1977; therefore probability of lead therefore probability of lead based paint content is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit located in region with Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

### House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition; driveway does not meet minimum length.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; inadequate slope away from foundations; foundation is not 8-inches above grade.

### House Plan Suitability

- Bedroom 1: standard; meets minimum area and dimensions; closet space meets minimum; smoke detector in hall.
- Bathroom for Bedroom 1: above standard; exceeds standards with two sinks and large counter top space.
- Bedroom 2: above standard; exceeds minimum area and dimension requirements; closet space meets minimum; smoke detector in hall.
- Bedroom 3: above standard; exceed minimum area and dimension requirements; closet space meets requirement; smoke detector in hall.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: standard; meets minimum area and dimension requirements for CGO and FGO.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements; no secondary eating area; good relationship to living areas, outside space, natural light; GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: attached single carport only (or none); compatible with house architecture; AF standard is two car garage if site allows; majority of sites for this unit type allow space for two car garage.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationships; appropriate egress; unit lacks minimum interior storage space.
- Architectural Aesthetics: fair; character suitable for region, location; fair massing; suitable for future additions; there are three doors along the front elevation of this unit which makes entry confusing.

## RECOMMENDATIONS

### Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide R-30 fiberglass batt insulation.

### Structural - Foundation/Exterior Walls

- Windows - Frames: continue to monitor corrosion of frames.
- Doors - Sliding/Glass: replace sliding glass doors at dining and family rooms with new vinyl clad insulated patio doors.
- Doors - Storm/Screen: install aluminum screen /storm door at entries.
- Doors - Hardware: install dead bolt on doors.

### Structural - Other Building Elements

- Trash Enclosure: provide enclosed area for trash; see proposed plan.
- Privacy Fence: provide new fencing to screen patio; per proposed plan.
- Landscaping: install climate appropriate landscaping in front, side and rear yards.

### Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: replace interior cooling system with direct exchange coil.

- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

### Electrical

- Electrical Panel: replace electric panel with 150 minimum panel and relocate inside unit.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Service Disconnect: replace service disconnect with 150 amp; make integral to new electric panel.

### General - All but Kitchen, Baths, Laundry

No recommendation.

### Kitchen

No recommendation.

### Bathroom #1

No recommendation.

### Bathroom #2

No recommendation.

### Bathroom #3

No recommendation.

## Laundry Room

No recommendation.

## Special Assessments

- Lead Based Paint: test for lead base paint and if present remove and replace all suspect material; remove exterior: doors, frames and wood trim.
- Asbestos: test for asbestos; roofing material and window glazing to remain; vinyl composition tile and cove base appear to have been recently installed and are in good condition; gypsum wall board has been encapsulated with paint; light fixtures are in good condition; remove HVAC flex connectors and pipe insulation.
- Radon: continue to monitor for radon.
- Termites: treat regularly for termite prevention.

## House Sitework

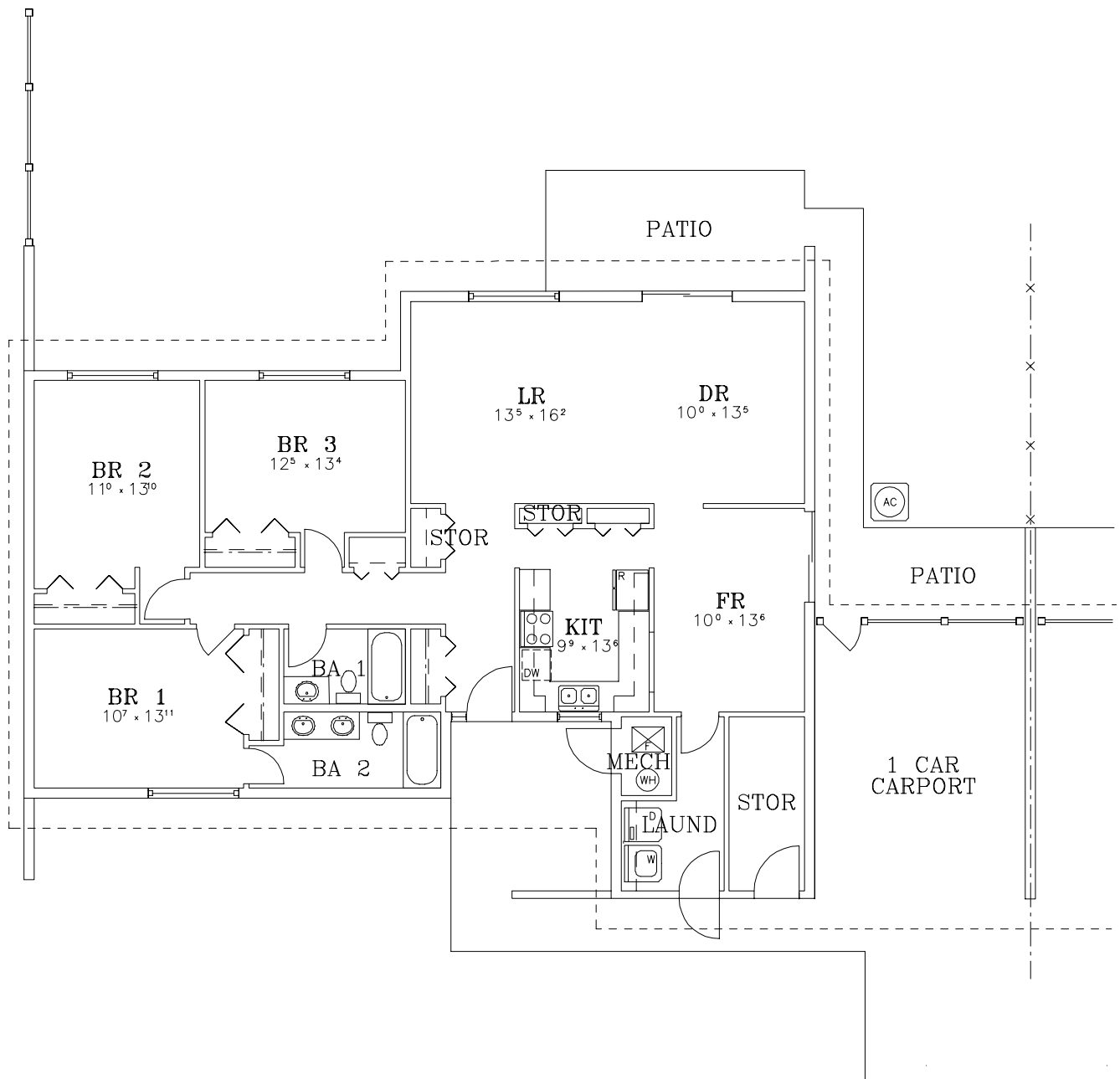
- Driveways to House: due to site constraints, lengthening of the exiting driveway is not feasible.
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service: Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service from main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade and seed around entire unit to provide proper drainage from foundation.

## House Plan Suitability

- Kitchen: add counter between Kitchen and Family Room for secondary eating area.
- Covered Parking: provide a two car garage and new overhead door with electric opener; remove existing masonry wall between carports and enclosure for two car garage for unit shown; adjacent unit will have two car garage provided at opposite end of unit.

- Overall Floor Plan: reconfigure exterior storage to provide interior storage; provide an addition for direct access from garage to the unit per proposed plan.
- Architectural Aesthetics: eliminate brick screen wall at front entry; add window to master bathroom and add front porch railing to improve aesthetics and open/define unit entry.

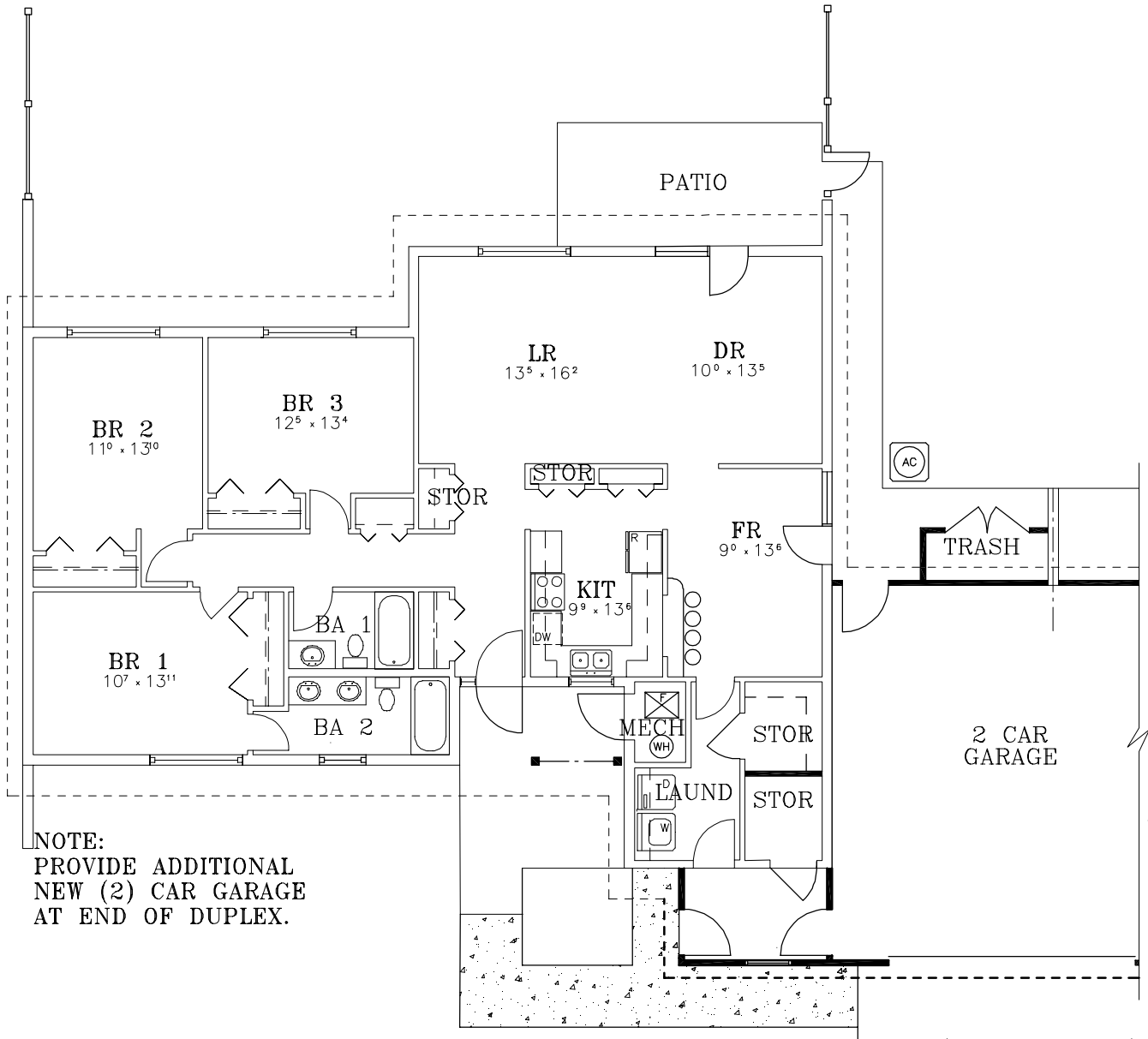
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**Unit Type CP.3.W**  
**3 BR FGO/CGO**

GROSS SF: 1671  
NET SF: 1400

**EXISTING**



**Unit Type CP.3.W**  
**3 BR FGO/CGO**

GROSS SF: 1671  
NET SF: 1413

**PROPOSED**



## FRONT ELEVATION

**Unit Type CP.3.W**  
**3 BR FGO/CGO**

GROSS SF: 1671  
NET SF: 1413



**PROPOSED**

### 4.3.2.5.1 Unit Type CP.3.W

## Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$2,318
Structural/Foundation/Exterior Walls	\$1,985
Structural/Other Building Elements	\$6,677
Mechanical	\$16,252
Electrical	\$2,116
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,752
House Sitework	\$6,102
House Plan Suitability	\$33,793
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$76,996</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$75,456</b>
<b>SIOH @3.00%</b>	<b>\$2,264</b>
<b>Contingency @5.00%</b>	<b>\$3,886</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$81,606</b>
<b>Escalation @3.33%</b>	<b>\$2,717</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$84,323</b>

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#### 4.3.2.6 Unit Type CP.3.X 2700-2800 Area

This one-story three-bedroom duplex was built in 1966. It is of standard wood frame construction with a concrete slab on grade. Unit has an attached one car carport.

This unit was occupied at time of visit. This unit type has received minor renovation improvement work.

Exterior walls are stucco with brick veneer accent. The unit bears no historical designation.

	Existing	Proposed
Floor Plan Type:	CP.3.X	CP.3.X
Gross Floor Area:	1673 sf	1673 sf
Net Floor Area:	1400 sf	1400 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2	2
Permanent Designation:	CGO	CGO
CAM Rating:	3.68	
FHU Assessed:	2790A Sacramento Court	
Number of FHUs of this Type:	6	6

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt singles; good condition.
- Roof Pitch: sloped roof; meets 3:12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: none; not required.
- Fire Walls: concrete masonry unit; good condition.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; good condition; the end wall between carport and house is brick veneer.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: aluminum; fair condition; at family and living rooms; no secondary locking devices.
- Doors - Storm/Screen: aluminum; good condition.
- Doors - Hardware: brass; fair condition; no dead bolt on exterior doors.

### Structural - Other Building Elements

- Garage/Carport: single carport; fair condition; concrete slab was cracked; current AF standard is



*Front elevation*



*Rear elevation*



Kitchen



Bathroom 1

two car garage if site allows; refer to House Plan Suitability.

- Garage Door: none; not required for carport.
- Porch/Stoop: porch; good condition.
- Patio/Deck: concrete; good condition; located at rear of house with access from Dining Room; on side of house with access from Family Room; both adequately sized, but not properly screened.
- Balcony: none; not required.
- Storage Areas: concrete masonry unit; good condition; located adjacent to carport.
- Trash Enclosures: none; required.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: chain link; fair condition; chain link fencing at side yard does not provide proper patio screening.
- Landscaping: grass and trees; fair condition; a few shrubs at front of house only; with mature trees.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base, insufficient combustion air.
- Heating System: gas; fair condition; unit is approximately nine years old.
- Cooling System - Interior: direct exchange coil; fair condition; unit is approximately nine years old.
- Cooling System - Exterior: direct exchange coil; fair condition; unit is approximately nine years old.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: digital; fair condition; painted, cover.

### Electrical

- Electrical Panel: 100 amp; poor condition; actual 125 amp located outside; panel/meter socket combo; inadequately sized, 150 amp minimum required.
- Receptacles: 20 amp; excellent condition.

- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition.
- CO Detectors: alternating current; fair condition; plugged-in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping areas, and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 100 amp; poor condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; good condition.

#### **General - All but Kitchen, Baths, Laundry**

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; fair condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; fair condition; worn finish.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; good condition.
- Doors - Closet: bifold; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; fair condition; it was reported that shelving has collapsed due to improper installation.
- Interior Hardware: metal; fair condition; worn finish.
- Arctic Recreation Room: none; not required at this location.



*Bathroom 2*

## Kitchen

Kitchen is U-shaped, no secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; good condition.
- Sink Fixtures: metal; good condition.
- Refrigerator: standard; good condition.
- Range/Oven: gas; fair condition; older model.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

## Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; fair condition; worn finish.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; fair condition; older model.
- Interior Hardware: metal; good condition.

## Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; excellent condition.
- Sink: cultured marble; excellent condition; two sinks.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

## Bathroom #3

None; not required for this unit type.

## Laundry Room

- Location: room; good condition; adequate size; located adjacent to Family Room; has interior and exterior access.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

## Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987; therefore probability of lead content is moderate; test indicate no lead in the water.
- Lead Based Paint: unit constructed before 1977; therefore probability of lead base paint content is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels

exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.

- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit located in region with Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no radon contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

### House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; fair condition; does not meet minimum dimension requirements.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; fair condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; inadequate slope away from foundations; foundation is not 8-inches above grade.

### House Plan Suitability

- Bedroom 1: standard; meets minimum area and dimensions; closet space meets minimum; smoke detector in hall.
- Bathroom for Bedroom 1: above standard; exceeds standards with two sinks and large counter top space.
- Bedroom 2: above standard; exceeds minimum area and dimension requirements; closet space meets minimum; smoke detector in hall.
- Bedroom 3: above standard; exceeds minimum area and dimension requirements; closet space exceeds standard; smoke detector in hall.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements; no secondary eating area; good relationship to living areas, outside space, natural light; GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: AF standard is two car garage if site allows; majority of sites for this unit type allows space for two car garage.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationships; appropriate egress; unit lacks minimum interior storage space.
- Architectural Aesthetics: fair; character suitable for region/location; fair massing; suitable for additions; carport is visually unappealing.

## RECOMMENDATIONS

### Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide R-30 fiberglass batt insulation in attic.

### Structural - Foundation/Exterior Walls

- Doors - Sliding Glass: replace sliding glass doors with vinyl clad insulated patio doors at family and living rooms.
- Doors - Hardware: install dead bolt locks on exterior doors.

### Structural - Other Building Elements

- Garage/Carport: see House Plan Suitability.
- Trash Enclosures: provide enclosure with concrete slab for trash area; see proposed plan.
- Privacy/Fencing: install fence to screen patio in rear and side yard.
- Landscaping: provide climate appropriate landscaping in front, side, and rear yard.

### Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: replace interior cooling system with direct exchange coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.

- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

### Electrical

- Electrical Panel: replace electric panel with 150 minimum panel and relocate inside unit.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Service Disconnect: replace service disconnect with 150 amp; make integral to new electric panel.

### General - All but Kitchen, Baths, Laundry

- Flooring - Vinyl: install carpet in living spaces; install ceramic tile at entry; see Special Assessments.
- Molding Trim: replace trim in entire unit with new wood base molding and door casing.
- Closet Shelving: install new wire shelving.
- Interior Hardware: provide new door hardware for all interior doors.

### Kitchen

- Range/Oven: install new gas range/oven.

### Bathroom #1

- Cabinets: provide new wood base vanity with new cultured marble counter top, molded bowl and fixture hardware.
- Ventilation: install new exhaust fan.

### Bathroom #2

No recommendation.

### Bathroom #3

No recommendation.

### Laundry Room

No recommendation.

### Special Assessments

- Lead Based Paint: test for lead base paint and if present remove and replace all suspect material; remove exterior: doors, frames and wood trim.
- Asbestos: test for asbestos; roofing material and window glazing to remain; vinyl composition tile and cove base appear to have been recently installed and are in good condition; gypsum wall board has been encapsulated with paint; light fixture are in good condition; remove HVAC flex connectors and pipe insulation.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

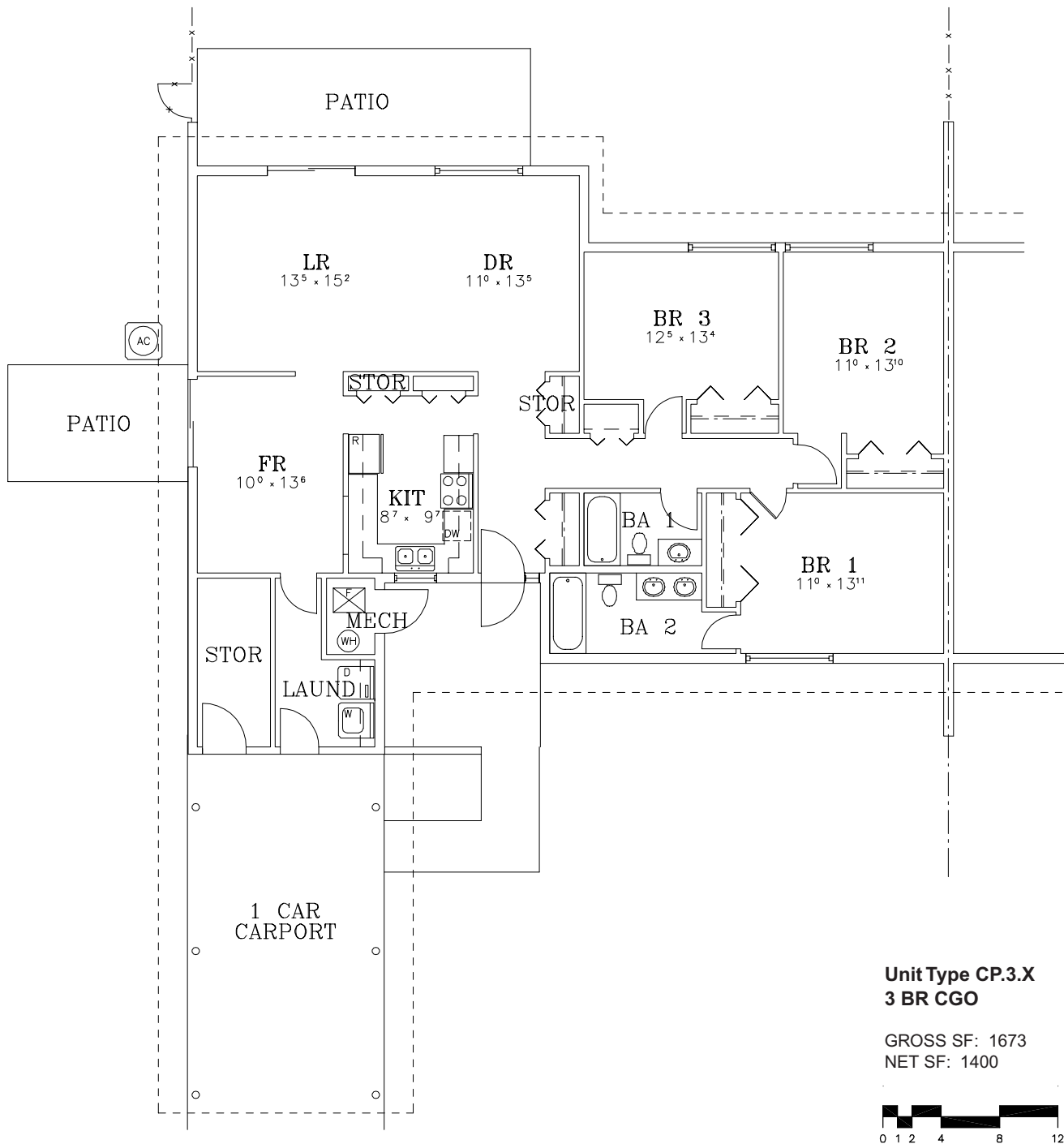
### House Sitework

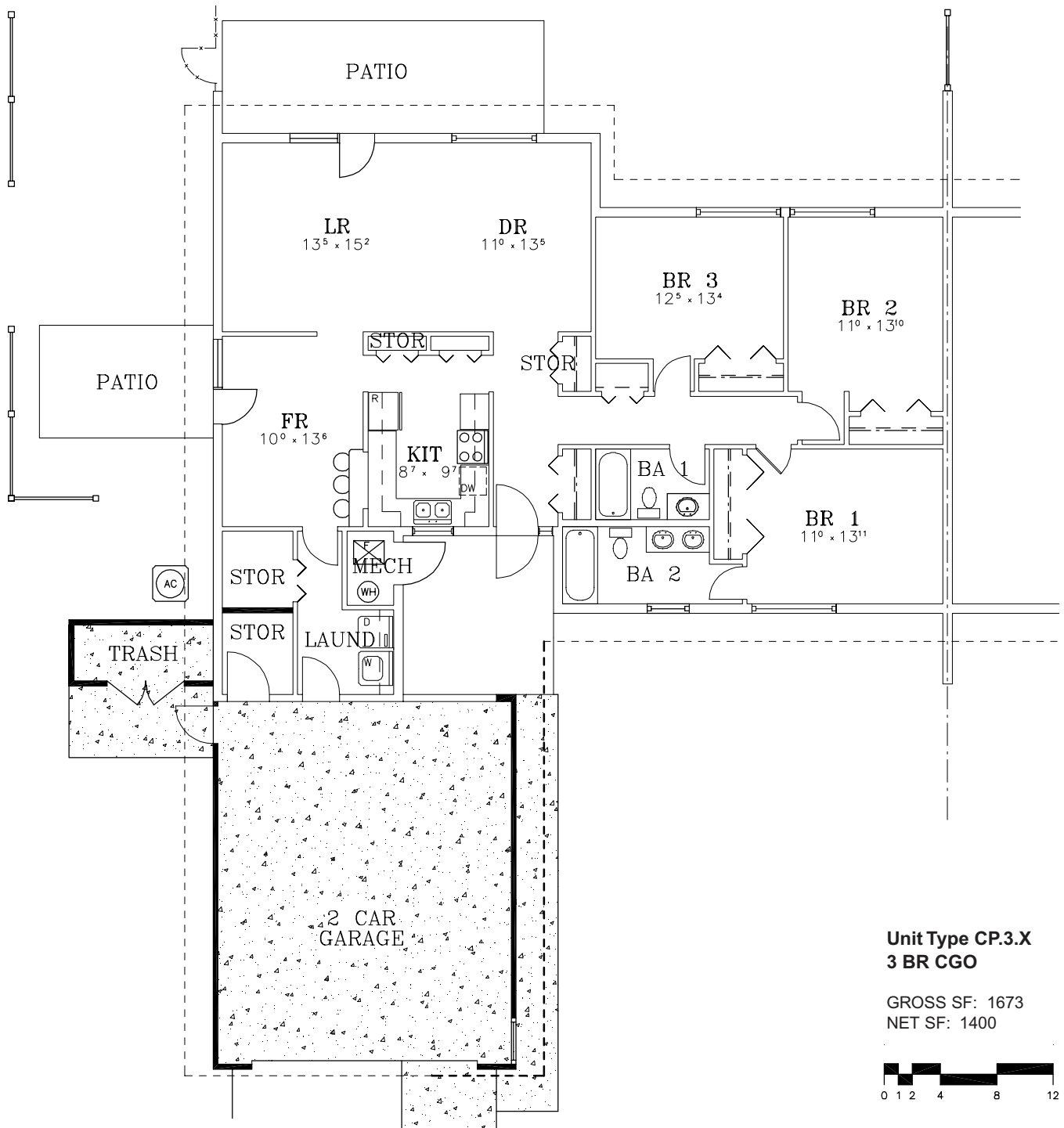
- Driveways to House: expand existing concrete drive for new two car garage per proposed plan.
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service: Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service from main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade and seed to provide proper slope away from foundation around entire unit.

### House Plan Suitability

- Kitchen: add counter between Kitchen and Family Room for secondary eating area.
- Covered Parking: provide two car garage with new fiberglass insulated garage door with opener per proposed plan.
- Overall Floor Plan: reconfigure excess exterior storage to provide additional interior storage per proposed plan.
- Architectural Aesthetics: provide new garage to improve character; add a window to master bathroom and window shutters to improve front elevation aesthetics and natural light in bathroom.

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**EXISTING**





## FRONT ELEVATION

**Unit Type CP.3.X**  
**3 BR CGO**

GROSS SF: 1673  
NET SF: 1400



**PROPOSED**

### 4.3.2.6.1 Unit Type CP.3.X

#### Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$2,225
Structural/Foundation/Exterior Walls	\$3,207
Structural/Other Building Elements	\$7,748
Mechanical	\$19,483
Electrical	\$2,116
General/All but Kitchen, Baths, Laundry	\$9,576
Kitchen	\$431
Bathroom #1	\$1,050
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,754
House Sitework	\$7,142
House Plan Suitability	\$23,548
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$84,279</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$82,594</b>
<b>SIOH @3.00%</b>	<b>\$2,478</b>
<b>Contingency @5.00%</b>	<b>\$4,254</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$89,325</b>
<b>Escalation @3.33%</b>	<b>\$2,975</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$92,299</b>

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#### 4.3.2.7 Unit Type CP.3.Z 2700-2800 Area

This one-story, three-bedroom single-family unit with a detached one-car garage was built in 1959. It is of standard wood frame construction with a concrete slab on grade.

The unit was occupied at time of visit. This unit type has received minor renovation improvement work in 1992.

Exterior walls are stucco and brick veneer. The unit bears no formal historical designation.

	Existing	Proposed
Floor Plan Type:	CP.3.Z	CP.3.Z
Gross Floor Area:	1669 sf	1669 sf
Net Floor Area:	1477 sf	1465 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2	2
Permanent Designation:	FGO	FGO
CAM Rating:	3.49	
FHU Assessed:	2852 Quay Loop	
Number of FHUs of this Type:	1	1

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood trusses; good condition; approximately 8 inches of attic insulation; meets AF standards.
- Roof Covering: asphalt shingles; fair condition; shingles are approximately ten years old; end of useful life.
- Roof Pitch: sloped; meets 3 in 12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: metal; good condition.
- Gutters/Downspouts: aluminum; good condition; downspouts empty onto splashblocks.
- Chimneys: none; not required.
- Fire Walls: none; not required for single-family unit.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; good condition; brick veneer accent in good condition.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: metal; good condition.
- Windows - Glazing: double; good condition; bedroom windows meet emergency egress requirements.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: aluminum; fair condition; at living and dining rooms; sliding glass doors do not have secondary locking devices.
- Doors - Storm/Screen: none; required.
- Doors - Hardware: brass; fair condition; entry door does not have dead bolt.



*Right side elevation*



*Rear elevation*



*Left side elevation*



Kitchen

### Structural - Other Building Elements

- Garage/Carport: single garage; fair condition; does not meet minimum clear dimensions by 8" in width; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: metal; good condition.
- Porch/Stoop: porch; good condition.
- Patio/Deck: concrete; excellent condition; one oversized patio is adjacent to the Living Room and provides excellent outdoor living area; smaller patio is accessed from Dining Room and is not provided with proper screening.
- Balcony: none; not required.
- Storage Areas: adjacent to garage; good condition.
- Trash Enclosures: none; required.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; fair condition; fencing is at rear property line and does not provide patio screening; large patio adjacent to Living Room is screened by brick veneer wall.
- Landscaping: grass and trees; fair condition; scarcely spaced plantings, mature trees.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; unit is approximately eight years old.
- Cooling System - Interior: direct exchange coil; fair condition; unit is approximately eight years old.
- Cooling System - Exterior: direct exchange coil; fair condition; unit is approximately eight years old.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: digital; good condition.



Bathroom 1

## Electrical

- Electrical Panel: 100 amp; deteriorated condition; actual 125 amp located outside; panel/meter socket combo; inadequately sized, 150 amp minimum required.
- Receptacles: 20 amp; fair condition; some minor maintenance required.
- GFCI Receptacles/Breakers: breaker; deteriorated condition; protects bathrooms and exterior receptacles; 1 GFCI receptacle in Kitchen, a second is needed; breaker located in panel.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; fair condition; alternating current with battery back-up required.
- CO Detectors: alternating current; fair condition; plugged-in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping areas, and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 100 amp; deteriorated condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; fair condition; need minor maintenance and repair.



*Bathroom 2*

## General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; good condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition; textured finish.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; fair condition; multiple coats of paint.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; fair condition; slightly worn; clear stained.

- Doors - Closet: bifold; fair condition; slightly worn; clear stained; wood.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; fair condition; need additional support brackets.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.

## Kitchen

Kitchen is U-shaped, no secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminate; good condition.
- Sink: stainless sink, double; fair condition; slightly worn finish.
- Sink Fixtures: metal; good condition.
- Refrigerator: standard; fair condition; slightly worn interior.
- Range/Oven: gas; fair condition; slightly worn interior.
- Vent Hood: exhaust fan; fair condition; slightly worn.
- Dishwasher: standard; fair condition; slightly worn.
- Garbage Disposal: standard; fair condition; slightly worn.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: gypsum wall board; good condition.
- Interior Hardware: metal; good condition.

## Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; fair condition; slightly worn finish.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; fair condition; nearing end of useful life.

- Tub/Shower: combination; fair condition; ceramic tile surround; corroded; shower has glass door.
- Flooring: vinyl composition tile; fair condition; slightly worn.
- Walls: gypsum wall board; fair condition; slight deterioration at shower/tub.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; fair condition; slight wear at towel bars.

## Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; fair condition; slightly worn finish.
- Counters: cultured marble; fair condition; minor scratches.
- Sink: cultured marble; fair condition; minor scratches.
- Fixture Hardware: metal; fair condition; slightly corroded.
- Toilet: porcelain; fair condition; older fixture.
- Tub/Shower: tile shower, ceramic surround; fair condition; corroded shower door.
- Flooring: vinyl composition tile; fair condition; slightly worn.
- Walls: gypsum wall board; fair condition; textured finish.
- Wall Finish: painted; fair condition; uneven.
- Ceilings: gypsum wall board; fair condition; textured finish.
- Ceiling Finish: painted; fair condition; uneven.
- Ventilation: exhaust fan; fair condition; aged.
- Interior Hardware: metal; fair condition; worn.

## Bathroom #3

None; not required for this unit type.

## Laundry Room

- Location: closet; fair condition; inadequate size; adjacent to Kitchen; enclosed by accordion doors; problems with noise and moisture.
- Flooring: vinyl composition tile; fair condition; discolored, worn under appliance.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinet; good condition; wood.
- Interior Hardware: metal; fair condition; slightly worn.

## Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987; therefore probability of lead content is moderate; tests indicate no lead in the water.
- Lead Based Paint: unit constructed before 1977; therefore probability of lead base paint content is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicated the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; Base reports no radon contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

## House Sitework

- Walkways to House: concrete; good condition; public sidewalk connects to driveway, not directly to house entry.
- Driveways to House: concrete; good condition; does not meet minimum dimension requirements.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; grade does not meet minimum slope away from foundations; foundation is not 8-inches above grade.

## House Plan Suitability

- Bedroom 1: standard; meets minimum area and does not meet minimum dimension requirements by 3 inches in width; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 1: standard; appropriate size for function; minimal counter space.
- Bedroom 2: standard; exceeds minimum area but does not meet minimum dimension requirement by 3 inches; closet space exceeds minimum; smoke detector in hall.
- Bedroom 3: above standard; meets minimum area and dimension requirements; smoke detector in hall; closet space exceeds minimum.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: substandard; does not meet minimum dimension by 10"; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.

- Family Room: none; required.
- Dining Room: above standard; exceeds minimum area and dimension requirements.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements; good relationship to living areas, natural light; no secondary dining area.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: detached single car garage only (or none); compatible with house architecture; AF standard is two car garage if site allows; majority of sites for this unit type allow space for two car garage.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationship and appropriate egress; lacks required interior storage space.
- Architectural Aesthetics: fair; character suitable for region location; fair massing; suitable for future additions; the front entry door is not visible from the street; lacks visual impact.

## RECOMMENDATIONS

### Roof

- Roof Covering: install new asphalt shingles; provide new flashing with roof replacement.

### Structural - Foundation/Exterior Walls

- Doors - Sliding Glass: replace sliding glass doors at living and family rooms with vinyl clad insulated patio doors.
- Doors - Storm/Screen: install aluminum screen/storm door.
- Doors - Hardware: install dead bolt locks on exterior doors.

### Structural - Other Building Elements

- Garage/Carport: see House Plan Suitability.

- Trash Enclosure: provide enclosure located adjacent to garage, per proposed plan.
- Privacy/Fencing: install new fence to screen patio at rear; per proposed plan.
- Landscaping: provide climate appropriate landscaping in front, side, and rear yards.

## Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: replace interior cooling system with direct exchange coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.

## Electrical

- Electrical Panel: replace electric panel with 150 minimum panel and relocate to indoors.
- Receptacles: replace approximately 8 worn and damaged receptacles.
- GFCI Receptacles/Breakers: install bathroom exterior, and laundry circuit GFCI receptacles; add GFCI receptacles to Kitchen to unprotected circuits.
- Smoke Detectors: replace smoke detector with hard wired, battery backed up device.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Service Disconnect: replace service disconnect with 150 amp; make integral to new electric panel.

- Light Switches: replace approximately 10 damaged and worn light switches.

### General - All but Kitchen, Baths, Laundry

- Molding Trim: replace base molding and door casing with new wood trim.
- Doors - Interiors: provide wood doors.
- Doors - Closet: provide new wood doors.
- Closet Shelving: install proper shelf support brackets.

### Kitchen

- Sink: provide new stainless steel double bowl sink.
- Refrigerator: replace existing refrigerator.
- Range/Oven: install new gas range/oven.
- Vent Hood: install new vent hood provide proper ventilation to outside.
- Dishwasher: install new dishwasher.
- Disposal: install new garbage disposal.

### Bathroom #1

See House Plan Suitability.

### Bathroom #2

- Cabinets: provide wood vanity base cabinet with stain finish.
- Counters: provide new cultured marble counter.
- Sink: provide new cultured marble sink.
- Fixture Hardware: install new fixtures.
- Toilet: provide new toilet.
- Tub/Shower: regrout tile; replace shower door; provide caulk around shower door frame.
- Flooring: install new ceramic tile floor and base; see Special Assessments.
- Walls: patch/repair gypsum wall board wall.
- Wall Finish: repaint walls.
- Ceiling: patch/repair gypsum wall board wall.
- Ceiling Finish: repaint ceiling.
- Ventilation: install new exhaust fan with proper ventilation to outside.

- Interior Hardware: provide new toilet accessories.

### Bathroom #3

No recommendation.

### Laundry Room

See House Plan Suitability.

### Special Assessments

- Lead Based Paint: test for lead base paint and if present remove and replace all suspect material; remove exterior: doors, frames and wood trim.
- Asbestos: test for asbestos; roofing material and window glazing to remain; remove vinyl composition tile, cove base and the HVAC flex connectors and pipe insulation; gypsum wall board has been encapsulated with paint; light fixtures are in good condition.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

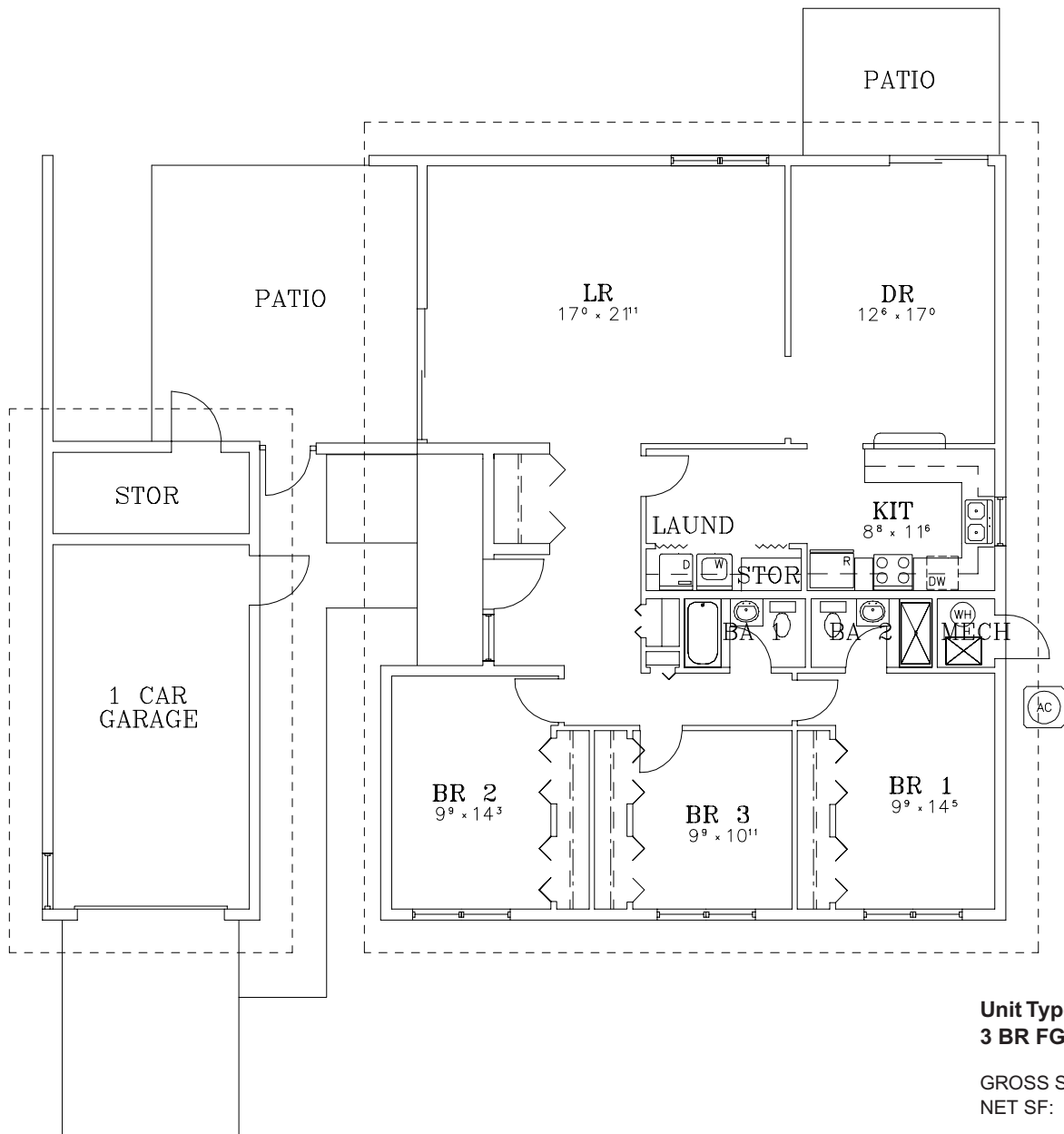
### House Sitework

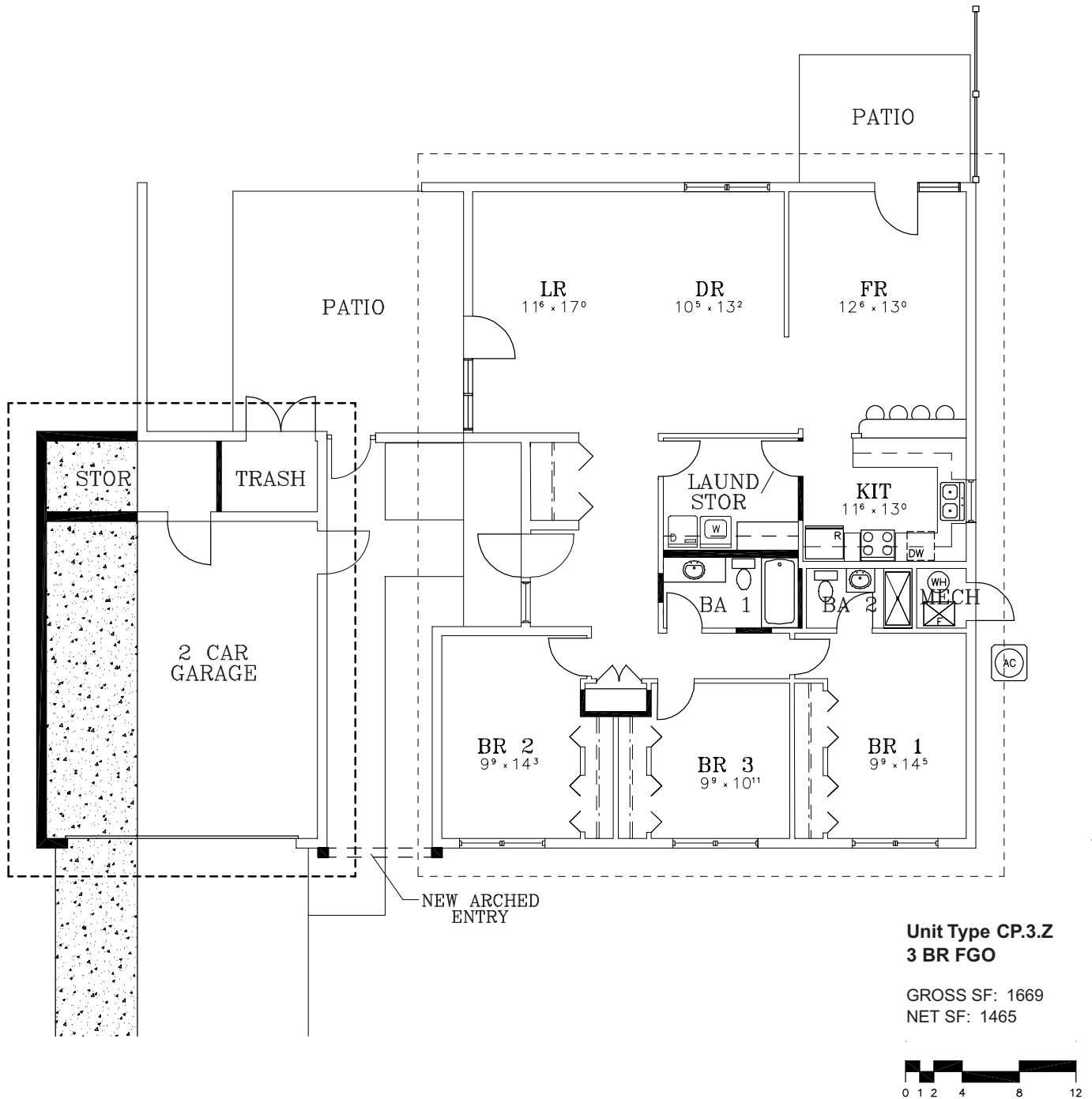
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade and seed to provide proper slope away from foundation.

### House Plan Suitability

- Bedroom 1: addition to unit would not be practical to meet minimum dimension requirements; no recommendation.

- Bathroom for Bedroom 1: due to location, expansion of existing bathroom for additional counter space is not feasible or recommended.
- Bedroom 2: addition to unit would not be practical to meet minimum dimension requirements; no recommendation.
- Bathroom for Bedroom 2,3,4: provide new wood vanity with cultured marble counter top, molded bowl and fixture hardware; provide new porcelain toilet and new tub/shower with ceramic tile surround; provide new ceramic tile flooring and base, see Special Assessments; provide new/repair gypsum board walls and ceiling and paint; provide new toilet accessories; expand per proposed plan.
- Family Room: locate Family Room in existing Dining Room; see proposed plan.
- Kitchen: provide counter top extension between Kitchen and Family Room for secondary eating area.
- Covered Parking: provide a two car garage and new overhead door with electric opener; widen concrete driveway per proposed plan.
- Overall Floor Plan: reconfigure laundry/storage due to bathroom expansion; additional interior storage will be provided within laundry room; see proposed plan.
- Architectural Aesthetics: add window shutters for improved character/detail; add an arched entry between garage and unit to visually improve/define unit entrance.

**EXISTING**

**PROPOSED**

### 4.3.2.7.1 Unit Type CP.3.Z

#### Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$4,795
Structural/Foundation/Exterior Walls	\$3,579
Structural/Other Building Elements	\$7,236
Mechanical	\$16,306
Electrical	\$3,751
General/All but Kitchen, Baths, Laundry	\$7,997
Kitchen	\$3,541
Bathroom #1	\$0
Bathroom #2	\$3,561
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,751
House Sitework	\$6,102
House Plan Suitability	\$44,213
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$108,832</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$106,655</b>
<b>SIOH @3.00%</b>	<b>\$3,200</b>
<b>Contingency @5.00%</b>	<b>\$5,493</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$115,347</b>
<b>Escalation @3.33%</b>	<b>\$3,841</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$119,188</b>



#### 4.3.2.8 Unit Type CP.4.S 2700-2800 Area

This one-story, four-bedroom single-family unit with an attached two-car garage was built in 1959. It is of standard wood frame construction with a concrete slab on grade.

This unit was occupied at time of visit. This unit type has received renovation improvement work.

Exterior walls are stucco with brick veneer accent. The unit bears no historical designation.

	Existing	Proposed
Floor Plan Type:	CP.4.S	CP.4.S
Gross Floor Area:	2396 sf	2396 sf
Net Floor Area:	2125 sf	2125 sf
Number of Bedrooms:	4	4
Number of Bathrooms:	2.5	2.5
Permanent Designation:	SOQ	SOQ
CAM Rating:	3.80	
FHU Assessed:	2712 San Juan Loop	
Number of FHUs of this Type:	1	1

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 8-inches of insulation; meets AF standards.
- Roof Covering: asphalt shingles; good condition.
- Roof Pitch: sloped roof; meets 3 in 12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: masonry; poor condition; brick mortar joints are deteriorating on 40% of chimney; the gas shut-off for the fireplace was located at the back of firebox; not easily accessible; unsafe.
- Fire Walls: none; not required for single-family unit.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: brick veneer; fair condition; brick veneer is discolored; minor mortar cracking on 30% of unit; stucco accent in good condition.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: aluminum; fair condition; two sliding glass doors located in Family Room; no secondary locking device.
- Doors - Storm/Screen: aluminum; good condition.
- Doors - Hardware: metal; fair condition; no dead bolt on entry doors.



*Right side elevation*



*Right side elevation*



*Rear elevation*



Kitchen



Bathroom 1

### Structural - Other Building Elements

- Garage/Carport: double garage; good condition; meets minimum dimensions and AF standards.
- Garage Door: metal; good condition.
- Porch/Stoop: stoop; good condition.
- Patio/Deck: concrete; excellent condition; exceeds minimum area and dimensions.
- Balcony: none; not required.
- Storage Areas: located at rear of garage with separate exterior entries; excellent condition.
- Trash Enclosures: wood; good condition; located with storage.
- Stairs (Exterior): none; one story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; good condition; adequately screens entire rear and side yard.
- Landscaping: grass and trees; good condition; combination of mature trees and shrubs.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; corroded.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; some corrosion; poor service access.
- Cooling System - Interior: direct exchange coil; fair condition; insufficient tubing insulation.
- Cooling System - Exterior: direct exchange coil; fair condition; some corrosion at base at both units.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: digital; fair condition; painted; damaged.

### Electrical

- Electrical Panel: 200 amp; good condition.
- Receptacles: 20 amp; excellent condition.

- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent; excellent condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.
- CO Detectors: alternating current; fair condition; plugged-in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping areas, and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 200 amp; good condition.
- Light Switches: single post, single throw; good condition.

### General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: carpet; good condition; 12 x 12 ceramic tile at entry in good condition.
- Flooring - Vinyl: none; not required.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; good condition.
- Doors - Closet: bifold; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; good condition.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.

### Kitchen

Kitchen is U- shaped with secondary eat-at counter.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; good condition.



*Bathroom 2*



*Bathroom 2*

*Bathroom 3*

- Sink Fixtures: metal; good condition.
- Refrigerator: 2-door; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

### **Bathroom #1**

Bathroom 1 serves Bedrooms 2, 3, and 4.

- Cabinets: wood; good condition.
- Counters: tile; good condition; top has solid wood edge.
- Sink: porcelain; good condition; two sinks.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

### **Bathroom #2**

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition; sink/counter combination unit.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.

- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

### Bathroom #3

Bathroom 3 is a half bath and serves first floor.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: none; not required.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: brass; good condition.

### Laundry Room

- Location: room; good condition; adequate size; located in an area adjacent to Kitchen.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

### Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987; therefore probability of lead content is moderate; tests indicate no lead in the water.

- Lead Based Paint: unit constructed before 1977; therefore probability of lead base paint content is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; Base reports no radon contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

### House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition; meets minimum dimensions.
- Uncovered Parking Pads at House: concrete; good condition; driveway connects with concrete drop-off in front of house.
- Electrical Services from Transformer: overhead; fair condition.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; some small "sink" holes reported in front lawn.

## House Plan Suitability

- Bedroom 1: above standard; exceeds minimum area and dimensions; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 1: above standard; appropriate size for function; large counter top space with two sinks.
- Bedroom 2: above standard; exceeds minimum area and dimensions; closet space exceeds minimum; smoke detector in hall.
- Bedroom 3: above standard; exceeds minimum area and dimensions; closet space exceeds minimum; smoke detector in hall.
- Bedroom 4: above standard; exceeds minimum area and dimensions; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 2,3,4: above standard; appropriate size for function; large counter top space with two sinks.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements; secondary eat-at counter; good relationship to living areas, outside space, natural light (including sky light); GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: yes; attached two car garage; compatible with house architecture.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationships; appropriate egress; fireplace in Family Room; oversized bedroom closets provide adequate interior storage space.
- Architectural Aesthetics: good; character suitable for region, location, good massing; suitable for future additions.

## RECOMMENDATIONS

### Roof

- Chimney: remove deteriorated mortar clean existing brick and repoint; provide new gas shutoff valve for fireplace gas log starter located on hearth for safety.

### Structural - Foundation/Exterior Walls

- Exterior Wall Covering: remove deteriorated mortar; clean brick and tuck point.
- Doors - Sliding Glass: install new vinyl clad insulated full light patio doors at Family Room.
- Door - Hardware: provide dead bolt hardware for exterior doors.

### Structural - Other Building Elements

No recommendation.

### Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 50 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace (two units).
- Cooling System - Interior: replace interior cooling system with direct exchange coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit (two units).
- Ductwork: replace ductwork system with galvanized/insulated ductwork.

- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

### Electrical

- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.

### General - All but Kitchen, Baths, Laundry

No recommendation.

### Kitchen

No recommendation.

### Bathroom #1

No recommendation.

### Bathroom #2

No recommendation.

### Bathroom #3

No recommendation.

### Laundry Room

No recommendation.

### Special Assessments

- Lead Based Paint: test for lead base paint and if present remove and replace all suspect material; remove exterior: doors, frames and wood trim.
- Asbestos: test for asbestos; roofing material and window glazing to remain; vinyl composition tile and cove base appear to have been recently installed and are in good condition; gypsum wall board has been encapsulated with paint; light fixtures are in good condition; remove the HVAC flex connectors and pipe insulation.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

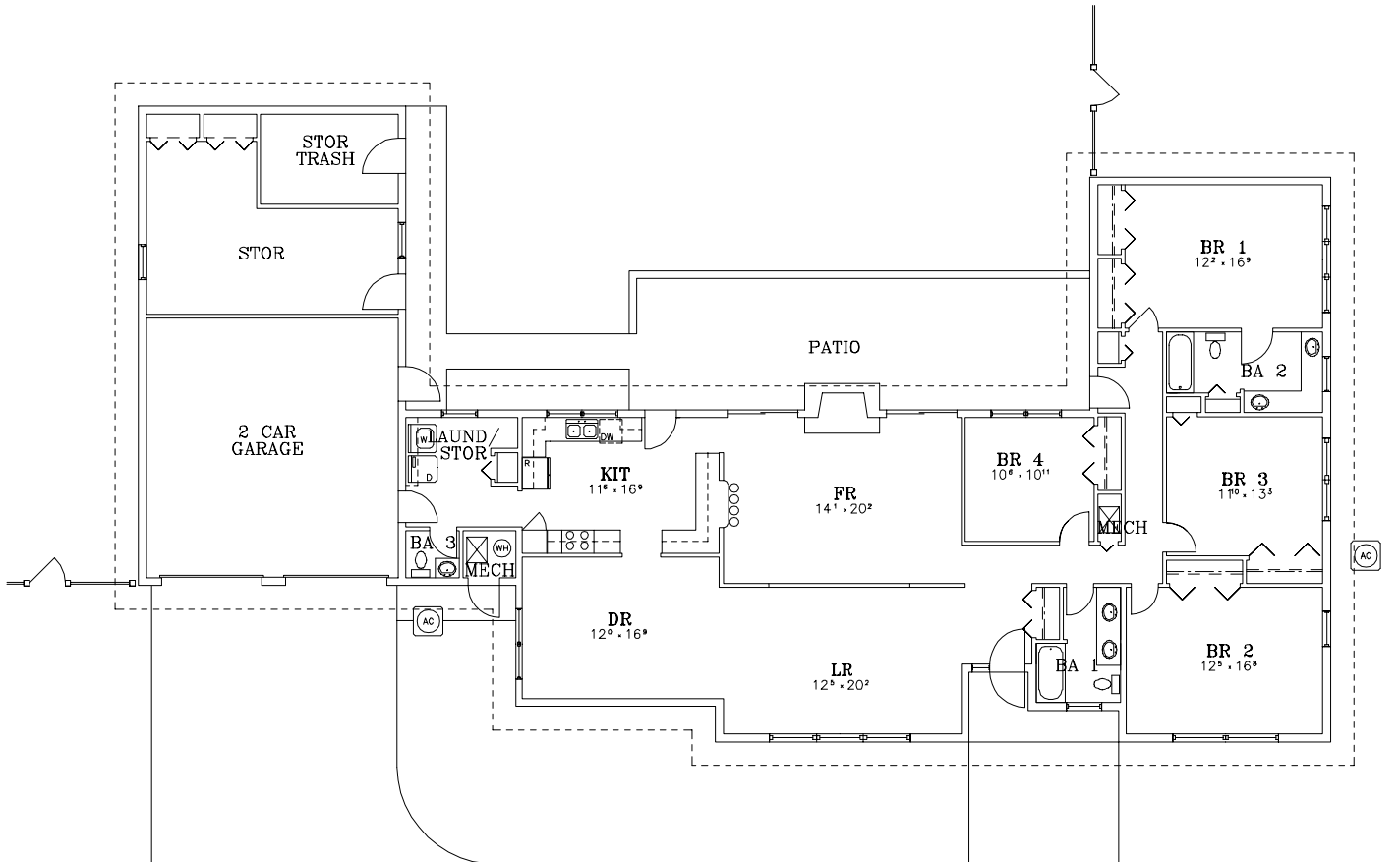
### House Sitework

- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade entire unit to provide proper slope away from foundation; fill in all additional low areas caused from minor sink holes; continue to monitor for future soil movement; future site work may be required due to sink hole condition.

### House Plan Suitability

No recommendation.

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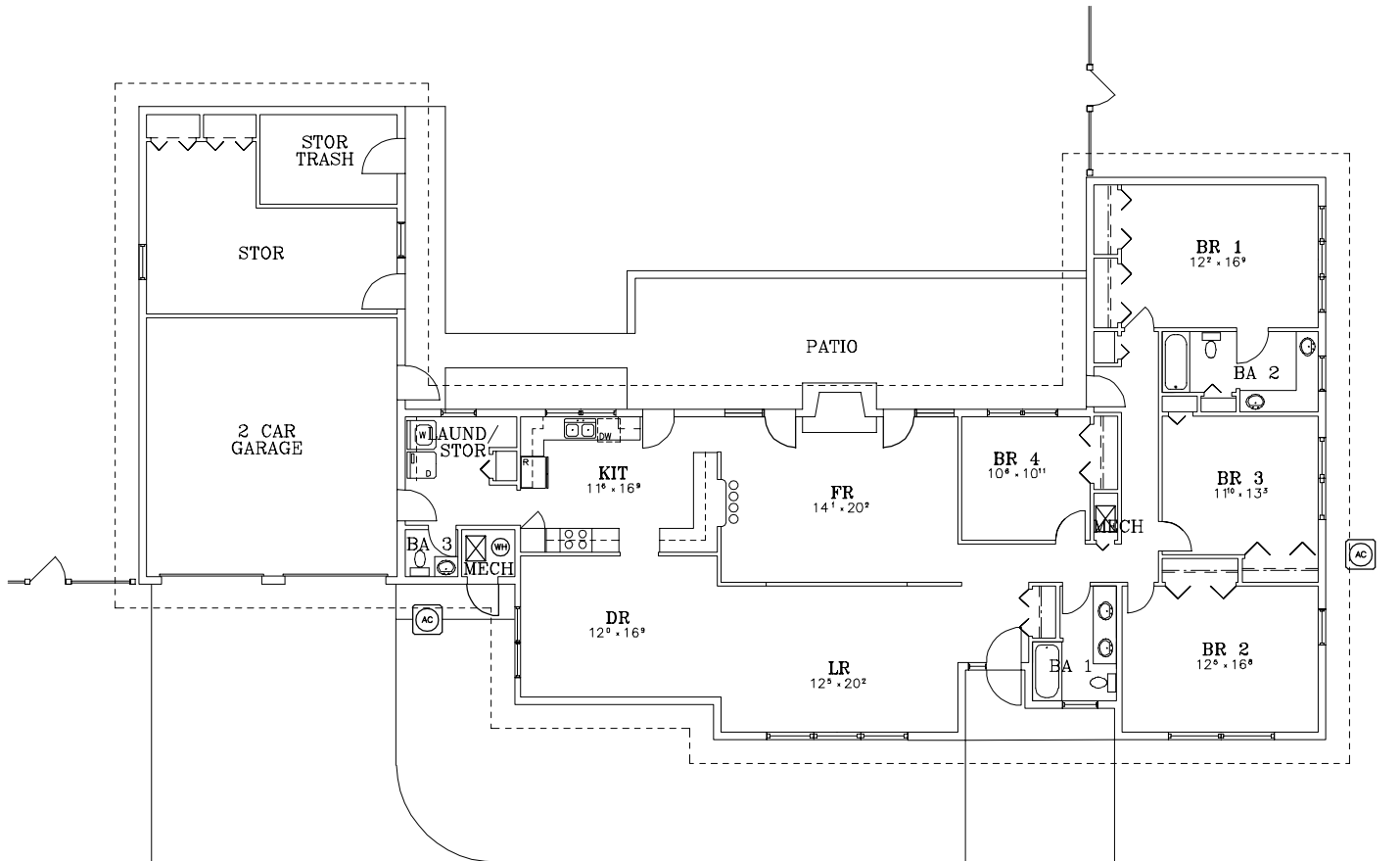


**Unit Type CP.4.S**  
**4 BR SOQ**

GROSS SF: 2396  
NET SF: 2125



**EXISTING**



**Unit Type CP.4.S**  
**4 BR SOQ**

GROSS SF: 2396  
 NET SF: 2125



**PROPOSED**

### 4.3.2.8.1 Unit Type CP.4.S

#### Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$1,258
Structural/Foundation/Exterior Walls	\$4,793
Structural/Other Building Elements	\$0
Mechanical	\$20,001
Electrical	\$99
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$8,166
House Sitework	\$5,498
House Plan Suitability	\$0
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$39,815</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$39,018</b>
<b>SIOH @3.00%</b>	<b>\$1,171</b>
<b>Contingency @5.00%</b>	<b>\$2,009</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$42,198</b>
<b>Escalation @3.33%</b>	<b>\$1,405</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$43,604</b>



**4.3.2.9 Unit Type CP.4.T 2700-2800 Area**

This one-story, four-bedroom single-family unit with a detached one-car garage was built in 1959. It is of standard wood frame construction with a concrete slab on grade.

This unit was unoccupied at time of visit. This unit type has received renovation improvement work. Whole house renovation in 1992.

Exterior walls are stucco with brick veneer accent. The unit bears no historical designation.

	Existing	Proposed
Floor Plan Type:	CP.4.T	CP.4.T
Gross Floor Area:	2011 sf	2011 sf
Net Floor Area:	1772 sf	1772 sf
Number of Bedrooms:	4	4
Number of Bathrooms:	2	2
Permanent Designation:	SOQ	SOQ/FGO
CAM Rating:	3.83	
FHU Assessed:	2717 San Juan Loop	
Number of FHUs of this Type:	11	11

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt shingles; good condition.
- Roof Pitch: sloped roof; good condition; meets 3:12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; fair condition; chimney is not properly flashed to roof.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: brick veneer; fair condition; top of chimney has water damage; missing mortar; top concrete cap is deteriorating.
- Fire Walls: none; not required for single-family unit.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: brick veneer; good condition; stucco accent in good condition.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition; bedroom windows provide emergency egress.
- Windows - Glazing: double; good condition.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: aluminum; good condition.
- Doors - Storm/Screen: aluminum; good condition.
- Doors - Hardware: brass; fair condition; no dead bolt.



*Right side elevation*



*Left side elevation*



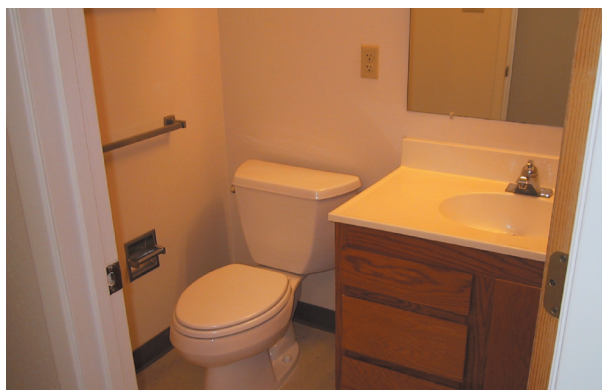
Kitchen

### Structural - Other Building Elements

- Garage/Carport: single garage; fair condition; garage does not meet minimum clear dimensions by 8" in width; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: fiberglass; good condition; painted.
- Porch/Stoop: porch; good condition.
- Patio/Deck: concrete; fair condition; three patios all adequately sized; one patio is cracked and has improper slope.
- Balcony: none; not required.
- Storage Areas: brick; good condition; located at rear of garage.
- Trash Enclosures: brick; fair condition; located at patio adjacent to Living Room; not properly screened from Living Room.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; good condition; rear yard is enclosed with fencing.
- Landscaping: grass and trees; fair condition; a few mature trees and sparsely planted shrubs.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; good condition.
- Drain/Waste/Vent: polyvinyl chloride; good condition.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; good condition.
- Cooling System - Interior: direct exchange coil; good condition; insufficient tubing insulation.
- Cooling System - Exterior: direct exchange coil; fair condition; some corrosion at base.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: digital; good condition.



Bathroom 1

## Electrical

- Electrical Panel: 100 amp; poor condition; actual 125 amp located outside; panel/meter socket combo; inadequately sized, 150 amp minimum required.
- Receptacles: 20 amp; excellent condition.
- GFCI Receptacles/Breakers: receptacle; excellent condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.
- CO Detectors: alternating current; fair condition; plugged-in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping areas, and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 100 amp; poor condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; good condition.

## General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: carpet; good condition; vinyl composition tile at front entry in good condition.
- Flooring - Vinyl: none; not required.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story house.
- Doors - Interior: wood; good condition; stained.
- Doors - Closet: wood; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; good condition.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.



*Bathroom 1*



*Bathroom 2*

## Kitchen

Kitchen is galley style with adjacent secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; good condition.
- Sink Fixtures: brass; good condition.
- Refrigerator: two-door; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

## Bathroom #1

Bathroom 1 serves Bedrooms 2, 3 and 4.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: brass; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

## Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: brass; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: shower; good condition; ceramic tile surround with glass shower door.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

## Bathroom #3

- None; not required for this unit type.

## Laundry Room

- Location: room; good condition; adequate size; separate room adjacent to bedroom hall.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

## Special Assessments

- Water Quality (Lead): unit constructed or whole housed 1987 or later and more than two years old; probability of lead content is low.
- Lead Based Paint: unit whole housed after 1977; therefore probability of lead base paint content is moderate.

- Asbestos: unit whole housed 1982 or later; therefore probability of asbestos contamination is moderate.
- Radon: unit located in region with Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; Base reports no radon contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

### House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; fair condition; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; good condition.
- Gas Service to House from Main: polyethylene; good condition.
- Grading/Drainage: surface; good condition.

### House Plan Suitability

- Bedroom 1: above standard; exceeds minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 1: standard; appropriate size for function.
- Bedroom 2: standard; meets minimum area, does not meet minimum dimension requirement by 8 inches; closet space exceed minimum; smoke detector in hall.
- Bedroom 3: above standard; exceeds minimum area and dimension requirements; closet space meets minimum; smoke detector in hall.
- Bedroom 4: above standard; exceeds minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function.

- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements; secondary eating area; good relationship to living areas, outside space, natural light (skylight); GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: detached single garage only (or none); compatible with house architecture; AF standard is two car garage if site allows; majority of sites for this unit type allow space for two car garage.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationships; appropriate egress; oversized bedroom closets provide interior storage.
- Architectural Aesthetics: fair; character suitable for region; location; fair massing; suitable for future additions; front entry door is not visible from street.

## RECOMMENDATIONS

### Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide R-30 fiberglass batt in attic.
- Flashing: provide new galvanized step and counter flashing around chimney.
- Chimneys: repoint brick; replace concrete chimney cap.

### Structural - Foundation/Exterior Walls

- Doors - Hardware: install dead bolt on exterior doors.

### Structural - Other Building Elements

- Garage/Carport: see House Plan Suitability.
- Patio/Deck: replaced damaged patio with new concrete patio; slope away from foundation.
- Trash Enclosure: provide new trash enclosure per proposed plan.
- Landscaping: provide climate appropriate landscaping in front, side, and rear yard.

### Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Heater: replace water heater with 50 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.
- Cooling System - Interior: replace tubing insulation.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.

### Electrical

- Electrical Panel: replace electric panel with 150 minimum panel and relocate inside unit.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Service Disconnect: replace service disconnect with 150 amp, make integral to new electric panel.

### General - All but Kitchen, Baths, Laundry

No recommendation.

### Kitchen

No recommendation.

### Bathroom #1

No recommendation.

### Bathroom #2

No recommendation.

### Bathroom #3

No recommendation.

### Laundry Room

No recommendation.

### Special Assessments

- Lead Based Paint: verify lead base paint has been abated, if unit has been whole housed and lead paint has been encapsulated, provide additional abatement procedures during proposed rehab.
- Asbestos: verify asbestos has been abated; if unit has been whole housed and asbestos has been encapsulated, provide additional abatement procedures during proposed rehab.
- Radon: continue to monitor for radon.
- Termites: treat regularly for termite prevention.

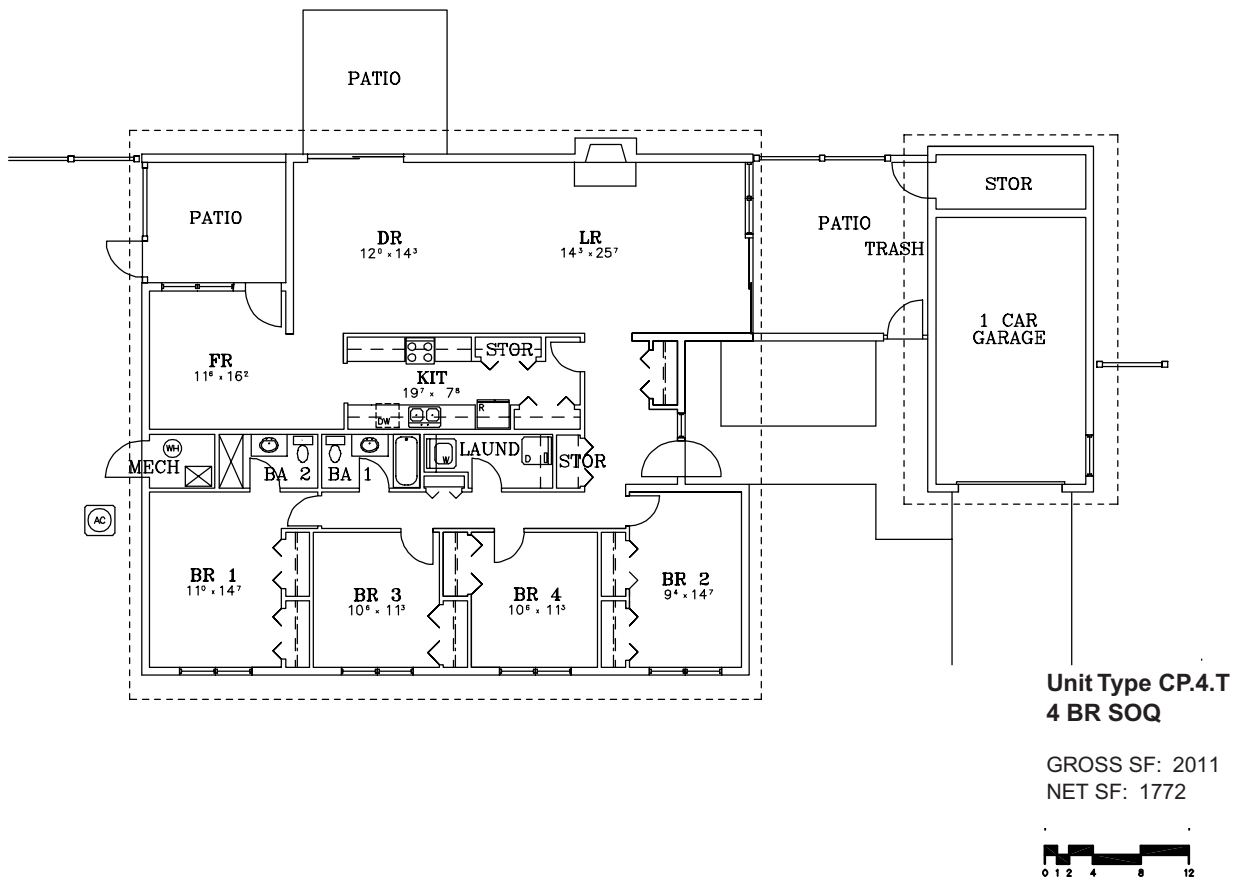
### House Sitework

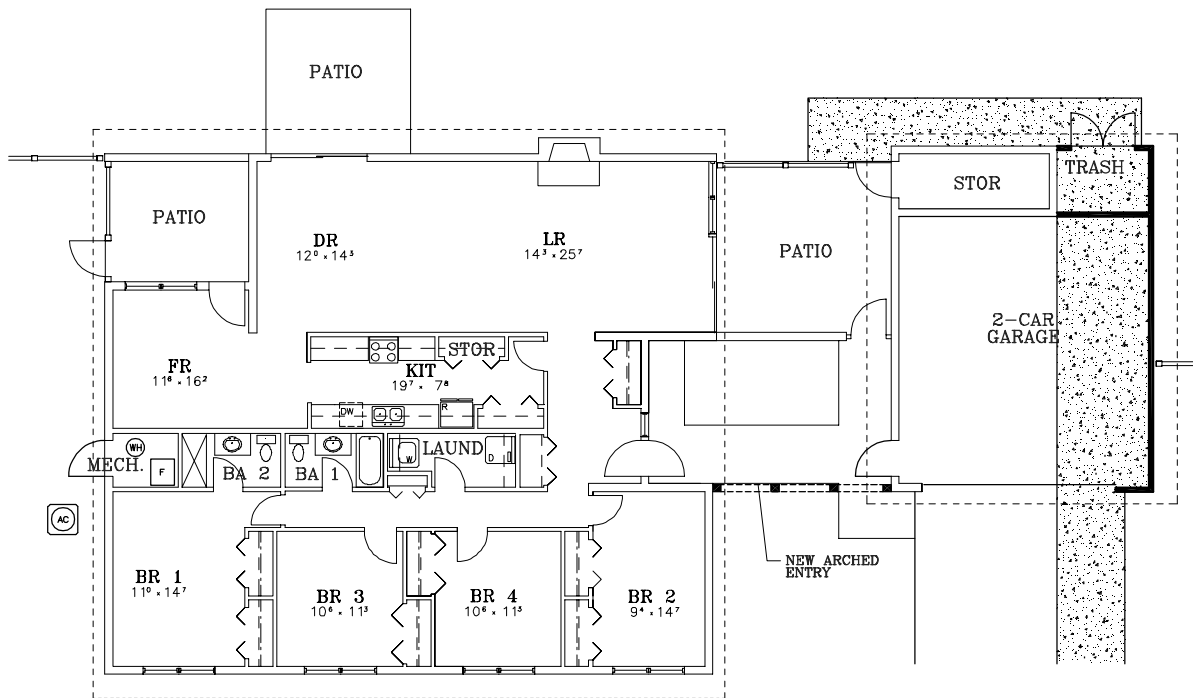
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.

**House Plan Suitability**

- Bedroom 2: the unit has been recently whole house renovated, CAM score is above 3.75, therefore no recommendation to enlarge bedroom.
- Covered Parking: provide a two car garage and new overhead door with electric opener; widen concrete driveway per proposed plan.
- Architectural Aesthetics: provide window shutters and arched entry to improve aesthetics.

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**EXISTING**

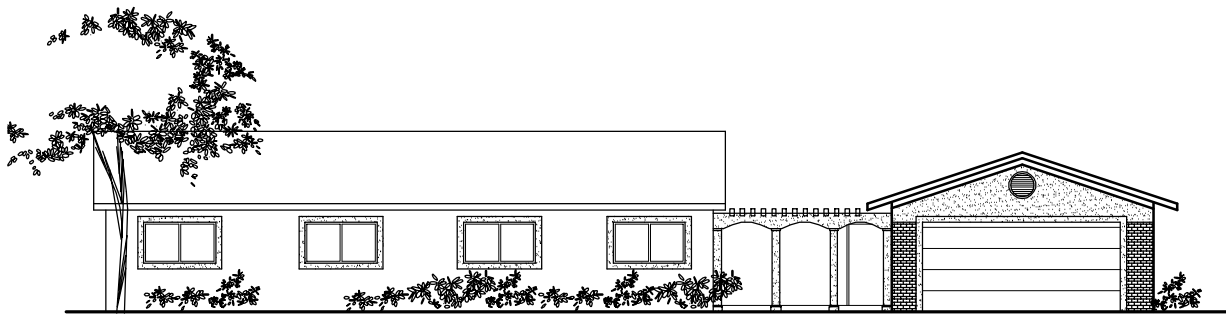


**Unit Type CP.4.T**  
**4 BR SOQ/FGO**

GROSS SF: 2011  
 NET SF: 1772



**PROPOSED**



FRONT ELEVATION



**Unit Type CP.4.T**  
**4 BR SOQ/FGO**

GROSS SF: 2011  
NET SF: 1772

**PROPOSED**

### 4.3.2.9.1 Unit Type CP.4.T

#### Improvement Cost Summary

**Base Name:** Holloman Air Force Base

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$3,216
Structural/Foundation/Exterior Walls	\$101
Structural/Other Building Elements	\$5,460
Mechanical	\$12,231
Electrical	\$1,854
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,946
House Sitework	\$2,417
House Plan Suitability	\$46,181
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$79,406</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$77,818</b>
<b>SIOH @3.00%</b>	<b>\$2,335</b>
<b>Contingency @5.00%</b>	<b>\$4,008</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$84,160</b>
<b>Escalation @3.33%</b>	<b>\$2,803</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$86,963</b>

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#### 4.3.2.10 Unit Type CP.4.U 2700-2800 Area

This one-story, four-bedroom single-family unit with a detached one-car garage was built in 1959. It is of standard wood frame construction with a concrete slab on grade.

This unit was unoccupied at time of visit. This unit type has received renovation improvement work.

Exterior walls are stucco and brick veneer accent. This unit bears no historical designation.

	Existing	Proposed
Floor Plan Type:	CP.4.U	CP.4.U
Gross Floor Area:	2067 sf	2067 sf
Net Floor Area:	1864 sf	1864 sf
Number of Bedrooms:	4	4
Number of Bathrooms:	2	2
Permanent Designation:	SOQ	SOQ
CAM Rating:	3.70	
FHU Assessed:	2718 San Juan Loop	
Number of FHUs of this Type:	1	1

## ANALYSIS

### Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt shingles; good condition.
- Roof Pitch: sloped roof; meets 3:12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; fair condition; chimney flashing not properly flashed to roof.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: brick veneer; fair condition; top of chimney has missing mortar; top concrete cap is deteriorating.
- Fire Walls: none; not required for single-family unit.

### Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; good condition; brick veneer 10% of mortar joints deteriorated or missing mortar.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition; the anodized finish has faded; bedroom windows provide emergency egress.
- Windows - Glazing: double; good condition.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: aluminum; good condition; no secondary locking device.
- Doors - Storm/Screen: aluminum; fair condition; storm window jammed.
- Doors - Hardware: brass; fair condition; no dead bolt.



*Right side elevation*



*Rear elevation*



*Left side elevation*



Kitchen



Kitchen

### Structural - Other Building Elements

- Garage/Carport: single garage; fair condition; garage does not meet minimum clear dimensions by 8" in width; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: fiberglass; fair condition; door track not installed level.
- Porch/Stoop: porch; good condition; concrete.
- Patio/Deck: concrete; excellent condition; patio extends the length of the house.
- Balcony: none; not required.
- Storage Areas: brick; good condition; located at rear of garage.
- Trash Enclosures: none; required.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; good condition; rear and one side is enclosed with fencing.
- Landscaping: grass and trees; good condition; several mature trees provide shade; some shrubs.

### Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base; insufficient combustion air.
- Heating System: gas; fair condition; insufficient combustion air.
- Cooling System - Interior: direct exchange coil; fair condition; some corrosion on coil.
- Cooling System - Exterior: direct exchange coil; fair condition; some corrosion at base.
- Ductwork: galvanized, insulated; fair condition; contains solid particulate material.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: digital; fair condition; painted; cover cracked.

## Electrical

- Electrical Panel: 100 amp; poor condition; located outside; panel/meter socket combo; inadequately sized, 150 amp minimum required.
- Receptacles: 20 amp; good condition.
- GFCI Receptacles/Breakers: receptacle; good condition.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.
- CO Detectors: alternating current; fair condition; plugged-in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping areas, and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition.
- Cable Hookups: coaxial; good condition.
- Service Disconnect: 100 amp; fair condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; good condition.

## General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: carpet; good condition; vinyl composition tile at front entry in good condition.
- Flooring - Vinyl: none; not required.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story house.
- Doors - Interior: wood; good condition.
- Doors - Closet: wood; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: metal; good condition.
- Interior Hardware: metal; fair condition; slightly worn finish.
- Arctic Recreation Room: none; not required at this location.



*Bathroom 1*



*Bathroom 2*



Bathroom 2

## Kitchen

Kitchen is galley style with adjacent secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; good condition.
- Sink Fixtures: metal; good condition.
- Refrigerator: two-door; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

## Bathroom #1

Bathroom 1 serves Bedrooms 2, 3 and 4.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; ceramic tile surround.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

## Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: shower; good condition; ceramic tile surround with glass shower door.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

### Bathroom #3

- None; not required for this unit type.

### Laundry Room

- Location: room; good condition; adequate size; adjacent to hallway.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

### Special Assessments

- Water Quality (Lead): unit was constructed between 1920 and 1987; therefore the probability of lead content is moderate; tests indicate no lead in the water.
- Lead Based Paint: unit was constructed before 1977; therefore the probability of lead based paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.

- Asbestos: unit was constructed before 1982; therefore the probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

### House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; slope of grade at rear of house does not meet minimum.

### House Plan Suitability

- Bedroom 1: substandard; does not meet minimum area requirement by 26 sf, does meet minimum dimensions; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 1: above standard; exceeds minimum requirements; adequate counter space.

- Bedroom 2: substandard; exceeds minimum area but does not meet minimum 10'-0" dimension by 8"; closet space exceeds minimum; smoke detector in hall.
- Bedroom 3: above standard; exceeds minimum area and dimension requirements; closet space meets minimum; smoke detector in hall.
- Bedroom 4: above standard; exceeds minimum area and dimension requirements; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; exceeds minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements; continuous with Living Room.
- Living Room: above standard; exceeds minimum area and dimension requirements; smoke detector serves Living and Dining Room.
- Kitchen: standard; meets minimum area and dimension requirements; secondary eating area provided; good relationship to living areas, outside space; natural light (skylight); GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: detached single garage only (or none); compatible with house architecture; AF standard is two-car garage; majority of sites for this unit type allow space for two car garage.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationships; appropriate egress; oversized bedroom closets provide interior storage.
- Architectural Aesthetics: fair; character suitable for region; location; fair massing; suitable for future additions; front entry door is not visible from street.

## RECOMMENDATIONS

### Roof

- Roof Structure - Trusses, Joist, Insulation: remove existing insulation and provide new R-30 fiberglass batt in attic.
- Flashing: provide new galvanized step and counter flashing around chimney.
- Chimney: repoint brick; replace concrete chimney cap.

### Structural - Foundation/Exterior Walls

- Exterior Wall Covering: remove deteriorated brick mortar and tuck point.
- Windows - Frames: continue to monitor oxidation on window frames; future window replacement may be required if finish continues to fail.
- Doors - Sliding Glass: provide secondary locking devices on all sliding glass doors.
- Doors - Storm/Screen: provide new aluminum storm/screen door.
- Doors - Hardware: install dead bolt on all exterior doors.

### Structural - Other Building Elements

- Garage: see House Plan Suitability.
- Garage Door: see House Plan Suitability.
- Trash Enclosures: provide new trash enclosure; see proposed plan.

### Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 50 gallon gas unit; provide a new metal mechanical room door with grilles to satisfy combustion air requirements.

- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: replace interior cooling system with direct exchange coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

### Electrical

- Electrical Panel: replace electric panel with 150 minimum panel and relocate inside unit.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Service Disconnect: replace service disconnect with 150 amp; make integral to new electric panel.

### General - All but Kitchen, Baths, Laundry

- Interior Hardware: provide new door hardware.

### Kitchen

No recommendation.

### Bathroom #1

No recommendation.

### Bathroom #2

No recommendation.

### Bathroom #3

No recommendation.

### Laundry Room

No recommendation.

### Special Assessments

- Lead Based Paint: test for lead based paint and if present remove and replace all suspect material; remove exterior: doors, frames and wood trim.
- Asbestos: test for asbestos; roofing material and window glazing to remain; vinyl composition tile and cove base appear to have been recently installed and are in good condition; gypsum wall board has been encapsulated with paint; light fixtures are in good condition; remove HVAC flex connectors and pipe insulation.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

### House Sitework

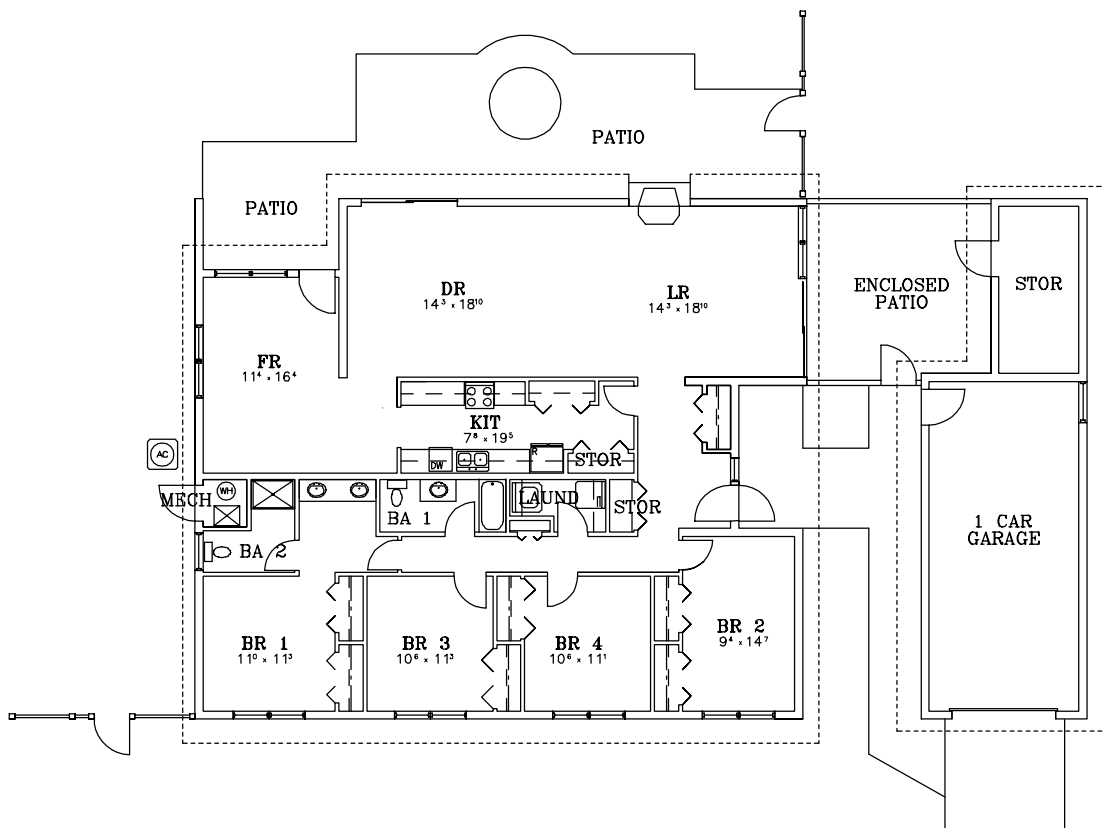
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade and seed rear yard to provide proper drainage away from unit foundation.

### House Plan Suitability

- Bedroom 1: reconfigure Bathroom 2 to expand area in Bedroom 1; relocate plumbing/fixtures;

provide new wood base cabinet with cultured marble counter/sink; see proposed plan.

- Bedroom 2: relocate closet to satisfy minimal dimension requirements.
- Covered Parking: expand existing one car garage to two car garage and expand concrete driveway per proposed plan.
- Architectural Aesthetics: build-out stucco around windows and provide an arched entry to improve aesthetics.

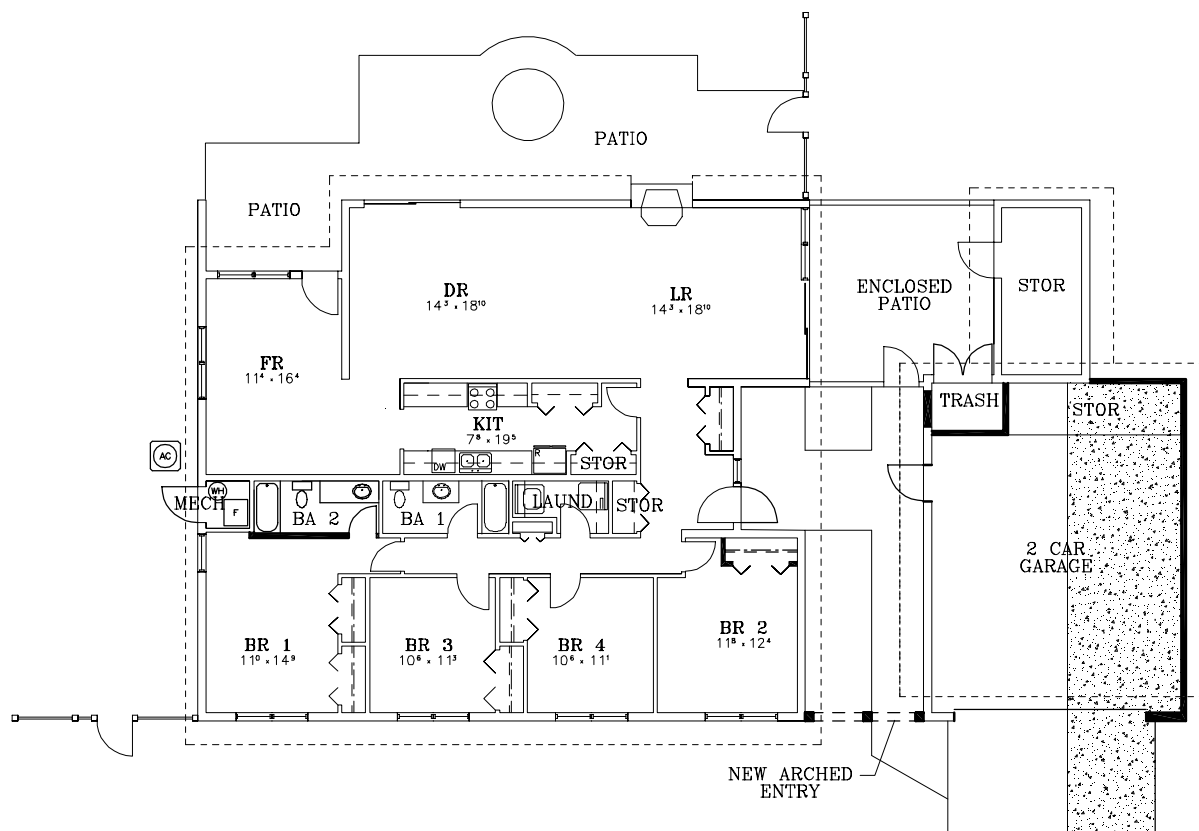


**Unit Type CP.4.U**  
**4 BR SOQ**

GROSS SF: 2067  
NET SF: 1864



**EXISTING**

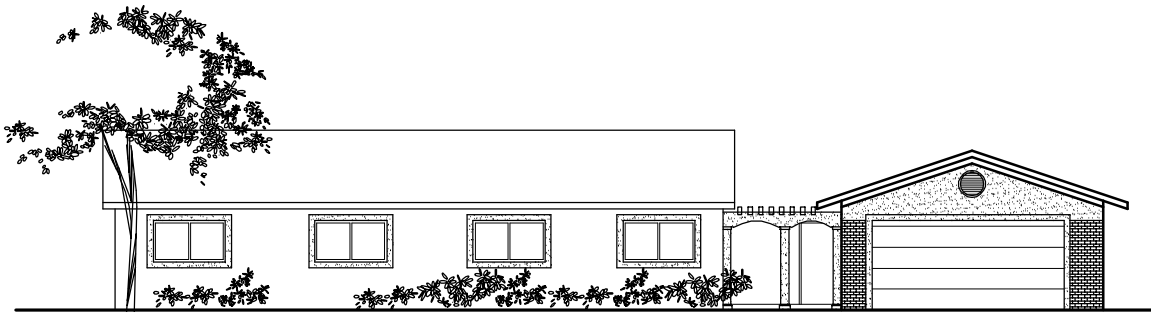


**Unit Type CP.4.U**  
**4 BR SOQ**

GROSS SF: 2067  
 NET SF: 1864



**PROPOSED**



FRONT ELEVATION



**Unit Type CP.4.U**  
**4 BR SOQ**

GROSS SF: 2067  
NET SF: 1864

**PROPOSED**

**4.3.2.10.1 Unit Type CP.4.U****Improvement Cost Summary****Base Name: Holloman Air Force Base**

<b>System/Subsystem</b>	<b>Unit Cost</b>
Whole House/All Systems	\$0
Roof	\$3,086
Structural/Foundation/Exterior Walls	\$4,109
Structural/Other Building Elements	\$1,263
Mechanical	\$20,159
Electrical	\$1,755
General/All but Kitchen, Baths, Laundry	\$480
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$7,978
House Sitework	\$5,407
House Plan Suitability	\$31,173
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
<b>Subtotal</b>	<b>\$75,410</b>
<b>ACF (0.98) Adjusted Subtotal</b>	<b>\$73,902</b>
<b>SIOH @3.00%</b>	<b>\$2,217</b>
<b>Contingency @5.00%</b>	<b>\$3,806</b>
<b>Adjusted Subtotal (FY2001\$)</b>	<b>\$79,925</b>
<b>Escalation @3.33%</b>	<b>\$2,662</b>
<b>Total Unit Improvement Cost (FY2003\$)</b>	<b>\$82,587</b>

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